

IRATCABAL EAST AREA PLAN

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**APPROVED BY SPARKS CITY COUNCIL ON
JULY 28, 2003**

AMENDED BY SPARKS PLANNING COMMISSION ON
APRIL 6, 2008

**IRATCABAL EAST AREA PLAN
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Iratcabal East Area Plan

IRATCABAL EAST AREA PLAN

INTRODUCTION

The Iratcabal East Area Plan presents a development strategy and direction for a 41.7± acre property that is currently owned by Gracian and Grace M. Iratcabal. The location of the subject property is east of Vista Boulevard, north of Disc Drive and south of Los Altos Parkway.

The southern portion of the Spanish Springs Valley experienced the first suburban style development in the late 1980's. The primary factor for this change in development patterns in this area was the extension of Vista Boulevard into the Spanish Springs Valley in 1987. In response to the opened access to the valley, planned communities have become prevalent with The Vistas to the east and Kiley Ranch to the west.

The property owner, Mr. Gracian Iratcabal, is a dairy farmer by trade and has had control of this property for nearly 50 years. It is the approximate shape of a right triangle with Vista Boulevard forming the hypotenuse side and the base being contiguous with the City of Sparks Detention Facility at Disc Drive at the southern boundary. The property as a whole presently has 2 land use Master Plan Designations assigned to it.

The two current master plan designations on this property are general commercial and estate density residential. Approximately 15.1 acres of the property is designated for general commercial use while 26.6 acres is designated estate density residential. The existing master plan designations allows for the development of a "big box" retail user (with a Special Use Permit) and approximately 79 single family dwellings. It is expected that the proposed modifications to the land use designations on the subject property will reduce the potential traffic generation that could be realized with the existing designations. Additionally, a more diversified, smaller project mix of uses could be provided along this rapidly growing Vista Boulevard corridor.

In the mid-1980's it became apparent that the Vista Boulevard corridor would be the direction that development was moving in Sparks. In the initial "Sphere of Influence" planning efforts, this area received Estate Density Residential land use assignments. This designation generally defined the first major planned residential community in the City of Sparks, the Vistas. The initial Vistas plan called for a mixed residential planned community with single family housing, condominiums, town homes, apartments, and neighborhood commercial uses. However, many of the non-single family detached villages were modified and shifted to single family uses. The

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necessary approvals for this development were granted in 1987. Build-out of this community is quickly approaching.

With this development scenario, the developer was required to secure and improve the public right-of-way extending Vista Boulevard from its then terminus at Disc Drive to the main entrance to the Vistas at Los Altos Parkway. This roadway extension included improvements to a 1,300± lineal foot stretch of Vista Boulevard. This portion of Vista Boulevard forms the western boundary of the subject property of this application.

In 1990, the city embarked on a Master Plan Update. This update was seen as necessary for several reasons. First, the city was running out of available developable land. Second, the Vistas Subdivision was offering a strong housing product in a desirable area. Third, and finally, growth pressures from properties to the north and west forced the City to think about how the Spanish Springs Valley would develop within the City-County purview.

Thus, the subject property was within the City's Sphere of Influence as established pre-1990, but was reanalyzed in light of new development conditions. As a product of the 1992 Master Plan Update the subject property was assigned the land use designations of general commercial and estate density residential designations.

These designations reflected changes in the land pattern from the mid-1980's to the early-1990's. These changes that had occurred were based on the recognition (through the development of the Northern Sparks Sphere of Influence (NSSOI) Plan) that the major north-south corridors into Spanish Springs Valley were the Pyramid Highway, Sparks Boulevard and Vista Boulevard. Two of these main corridors are in proximity to the subject property. It was necessary to re-evaluate the properties located along the main corridors relative to intensity as the NSSOI was projected to have 30,000 residents over a 20-25 year build-out. A second consideration was that two of the three main north-south corridors, Vista Boulevard and Sparks Boulevard are within 1,500 feet of each other at the southern base of the Spanish Springs Valley.

The Master Plan Designation was then modified to a General Commercial designation focusing on the Vista Boulevard/Disc Drive/Sparks Boulevard area. A portion of that designation has been developed in the form of a traditional shopping center with a super market as the anchor, a bank, a restaurant, a gas station and office support.

In 1997, the Sphere of Influence Plan boundary on the western edge was amended to add a regional Shopping Center. This proposed development reflects the dominance of the Pyramid Highway for north-south access, future residential growth in the unincorporated Washoe County portion of the Spanish Springs Valley and the physical improvements to the roadway. This

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modification has led to a re-evaluation of the amount of land committed to the General Commercial designation in other areas of the Spanish Springs Valley.

The rapid influx of new residents to the NSSOI area has increased the demand for commercial uses of a neighborhood service character. This Area Plan reflects the reconfiguration and reduction of the potential commercial use within the subject 41.7± acres.

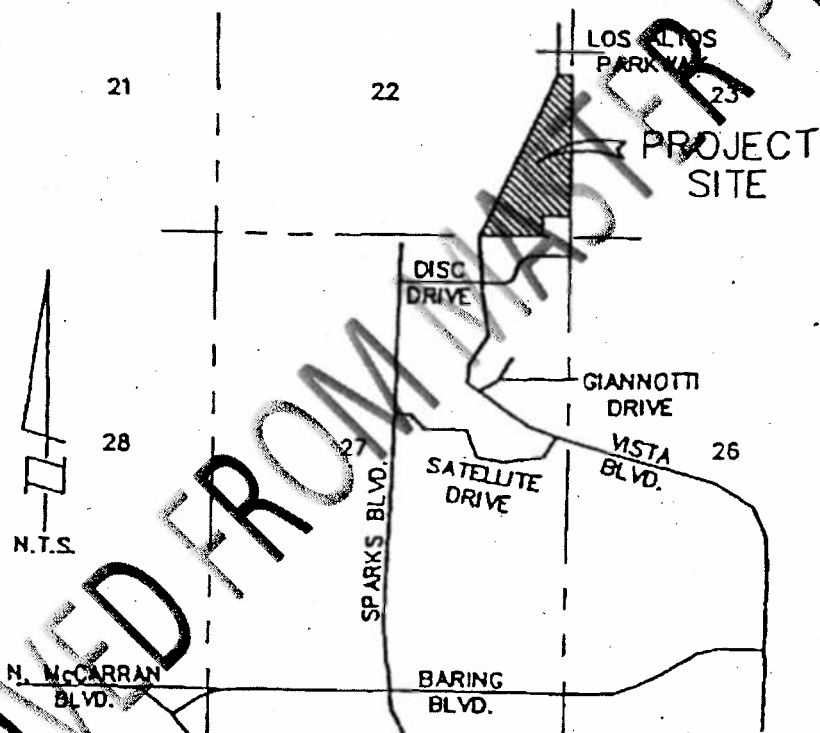


Figure 1. Location Map

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This plan provides a design framework for land uses and physical project design that will create a cohesive mixed use development.

Topics within this Area Plan are:

- Area Plan Goals
- Land Use
- Vehicular and Pedestrian Circulation
- Design Standards
- Public Facility & Service Requirements
- Plan Implementation

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AREA PLAN GOALS

Area Plan Goal 1: **DEFINE INTENSITY AND DENSITY IN COMMERCIAL COMPONENTS OF THE AREA PLAN**

- Provide commercial services that reflects the demand and needs of the area.
- Provide commercial development that is compatible with surrounding properties.
- Provide architectural character and quality that reflects the surrounding neighborhood.

Area Plan Goal 2: **PROVIDE BUFFERING FOR SURROUNDING PROPERTIES**

- Provide buffers that preserve and protect the existing character and quality of the Vistas.
- To create an appropriate buffer between the existing single family housing and the new residential component of this development.

Area Plan Goal 3: **PROVIDE LANDSCAPING AND PEDESTRIAN ACCESS ALONG THE VISTA BOULEVARD CORRIDOR**

- To create a landscaping corridor along Vista Boulevard that unifies the development but also connects to adjoining developments.
- Establish a continuous pedestrian path/sidewalk along the Vista Boulevard property frontage.
- To establish aesthetic and effective perimeter wall treatments (where necessary for noise attenuation) to ensure a visually pleasing environment along the Vista corridor.

Area Plan Goal 4: **PROVIDE COHESION IN THE DEVELOPMENT CHARACTER OF ALL COMPONENT PARTS OF THE AREA PLAN**

- Establish an attractive architecturally consistent theme.
- Establish consistent architectural standards between the various components of the Area Plan.
- To space the buildings to reflect a proportionate character and transition to each other and surrounding uses.
- To create a mini-storage facility that has architectural character with visual impacts upon the surrounding neighborhood mitigated by extensive landscaping.

PLAN AREA SETTING

Surrounding Properties

The property uses directly adjacent to the Area Plan site are:

East: Single Family Residential and Vacant

Existing single family lots to the east consist of houses built in the Vistas Subdivision. Specifically existing single family properties about the Area Plan site that have been developed in Southview Estates and the Vistas Unit One. The typical size of these adjacent lots is 9,580± sf.

The zoning designations for the properties directly adjacent to the subject property are R1-15, PUD and PD. The Master Plan designations for these properties is Estate Density Residential.

Additionally, a 14+ acre parcel of vacant land lies to the southeast corner of the Area Plan property. This property is not currently within the City of Sparks Limits but is master planned for Medium Density Residential (7-14 DU/AC).

West: Vacant Property

The land directly west of the Area Plan site (west of Vista Boulevard) is currently vacant. This property consists of 112.25± acres and is under the same ownership as the Area Plan site (Iratcabal). There are no existing plans for development of this adjacent property. The property is currently within the unincorporated county, but is master planned within the City of Sparks for Estate Density Residential (1-3 DU/AC), Low Density Residential (3-7 DU/AC) and General Commercial.

North: Vacant

A small vacant parcel lies directly north of the Area Plan site. This vacant property is adjacent to Los Altos Boulevard. This property is zoned and master planned Neighborhood Commercial (C-1) and General

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Commercial, respectively.

- South: Public Facilities & One Single Family Unit

To the south of the Area Plan site lie three specific uses: two public facilities (A park site/detention facility and Fire Station No. 4) and one single family residence. All of these described uses are located north of Disc Drive. The zoning and master plan designations for these properties is Public Facilities (PF) and General Commercial, respectively.

The mix of land uses for the site is influenced by:

1. Compatibility with existing adjacent uses
2. Long term effects of projected Vista Boulevard traffic increases on land uses
3. Type of commercial uses needed in the area.
4. Adequacy of buffers

Development Considerations for the Site

- Access
- Visibility
- Drainage
- Noise

Access: The plan area benefits from excellent access along Vista Boulevard. This roadway is scheduled to be widened to four lanes by 1999. The ultimate design of Vista Boulevard is to include six lanes and a 120' right-of-way. Any proposed development within the Area Plan must provide sufficient right-of-way to meet the ultimate design width of Vista Boulevard. Proposed developments must coordinate the Vista Boulevard cross street connections

The Regional Road Impact Fee System is in place and all development in the Area Plan shall pay appropriate fees. In the initial phase of approval, deferral of all but minimal improvements will occur until the RTC can rebuild and widen Vista Boulevard based upon the capital improvements scheduled for the 1999-2000 construction season.

Any Vista Blvd. right-of-way improvements proposed for the first phase of the development and deferred phases will be coordinated with and approved by the Public Works Director and the RTC. Bonds will be provided by the developer as necessary for deferred improvements to the satisfaction of the Public Works Director.

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Visibility: This plan area has a dual perspective in terms of visibility. The first perspective is from Vista Boulevard. Important view considerations along Vista Boulevard include: landscaping, screening, architectural and signage quality. The second perspective is from the existing homes on the elevated Promontory and Vistas Subdivisions that look down into this property. With respect to the surrounding residential views of any project within the Plan Area, sensitivity must be incorporated into roof styles, screening of roof-top equipment, landscaping and site lighting. Overhead utilities will be placed underground concurrent with development.

Drainage: Groundwater has been found approximately 6 feet below the surface. Drainage has been undermining Vista Boulevard. Thus, proposed developments within the Area Plan property must create on-site detention adequate to meet the needs of the development and the requirements of the Public Works Director. Additionally, the development must stop the flow of drainage that is undermining the street. Hydrology and Geotechnical reports shall be submitted that will address these concerns. The reports shall be to the approval of the Public Works Director.

Noise: Vista Boulevard will be widened to four lanes in 1999 and will ultimately be widened to six lanes. With this intensification and expansion along Vista Boulevard, noise mitigation is an element of design that must be addressed. Where single family residential uses have been located along major arterials, decorative block walls are required to help mitigate the acoustic and visual impacts from the roadway. The Area Plan prescribes General Commercial and Professional Office, uses along Vista Boulevard to provide the necessary buffer to proposed and existing single family residential uses.

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The proposed Iratcabal East Area Plan includes a mixture of land uses on 41.7± acres. Much of the property has already developed (such as the day care center and mini storage sites) while other areas are under development (such as the commercial and residential sites). Since the inception of the Plan in 1998, some of the 41.7± acres of land associated with the overall area of the plan has already been designated for roadway, detention and necessary public facility use (water pump station). These uses do not specifically appear in the plan information. As such, the total acreage found within the following tables does not add up to 41.7 acres. Rather the total acreage listed in the following tables identifying proposed impacts adds up to 37.0± acres. Specifically, the proposed designations within this plan are: General Commercial, Office Professional and Low Density Residential (3-7 dwelling units per acre).

The design concept for the plan area is derived from a number of factors.

- The property reflects a transition from a planned residential community to the east and a major arterial on the western boundary of this property.
- Restricted commercial uses will be located along Vista Boulevard.
- Single family residential uses shall be located next to the existing single family uses to the east.

Table 1. Existing Master Plan Designations and Areas

Land Use Designation	Acreage	Potential Building Coverage/Development
General Commercial	15.1± Acres*	328,878± sf**
Estate Density Residential	26.6± Acres*	79± Single Family*** Dwelling Units

Note: * - Gross Area

** - Assume maximum building coverage allowed per Area Plan.

*** - Assume maximum number of lots allowed under Master Plan designation.

Table 2. Proposed Land Uses and Areas

Land Use Designation	Acreage	Potential Building Coverage/Development
Office Professional	9.4± acres*	276,606± sf**
Child Day Care	1.7± acres*	37,026± sf**
Future Commercial	5.1± acres*	111,296±sf**
Mini-Storage/R.V. Storage	6.6± acres*	143,748± sf**
Low Density Residential (3-7 DU/AC)	14.2± acres	55± lots*** 6,000 sq. ft. minimum.

Note: * - Gross Area

** - Assume maximum building coverage allowed per Area Plan.

*** Number of lots from approved Tanglewood Grove Subdivision.

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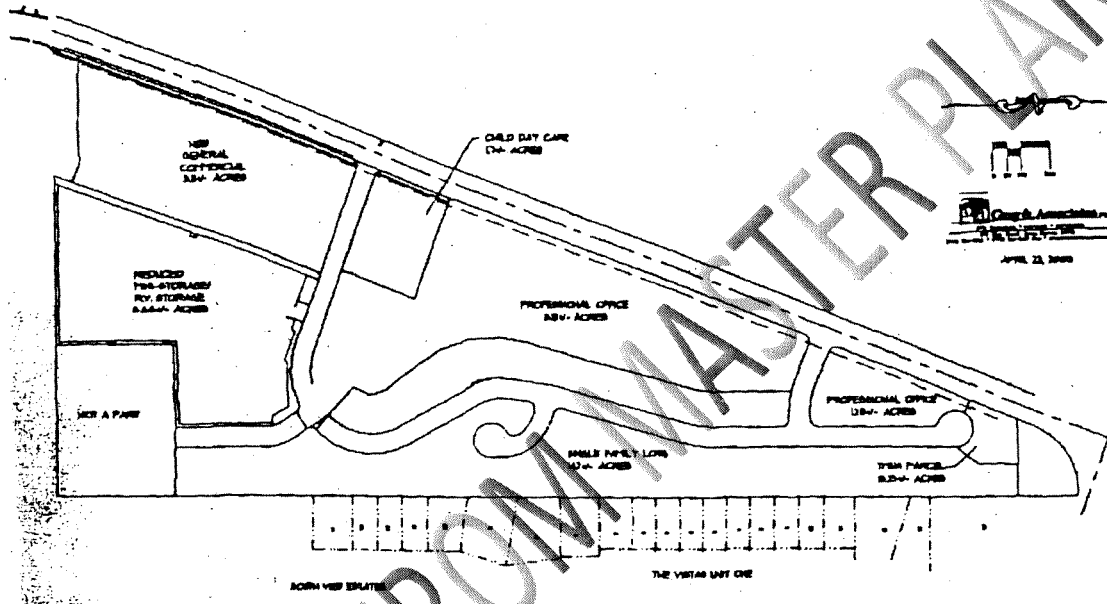


Figure 2. Area Plan.

Developmental Intensity

This Area Plan redefines the Master Plan designations. In terms of overall developmental intensity the specific area plan assignments are equal to or better than the existing potential development patterns related to neighborhood impacts.

Intensity Comparison

The intensity of the existing and proposed land use designation can be measured by Average Daily Trips (ADT's) and lot coverage. For the sake of comparing the proposed vs. existing land uses both ADT and lot coverage will be used. Estimates for ADT's per land use designation have been taken from the Regional Road Impact Fee Schedule. Where wide variations in ADT estimates exist, a middle/high average was used. This average is used in both the existing and proposed designation calculations.

ADT Comparison

Existing Designation - There are 26.6± acres designated Estate density residential (1 - 3 DU/AC) and 15.1± acres designated for General Commercial use. These two existing designations could present the following traffic intensity to the area:

Table 3 : Estimate of ADT (Existing Designations)

Land Use Designation	Acres	ADT Per Unit or 1,000 sf	Units or sf	Traffic Impact
Estate Density Residential (1 - 3 DU/AC)	26.6± ac	9.55/unit	79± units	754± ADT
General Commercial	15.1± ac	500±/1,000 sf	328,878± sf	164,439± ADT
Total Traffic Impact				165,193± ADT

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Proposed Designations - ADT estimates for the proposed land use designations are provided in the following table:

Table 4 : Estimate of ADT (Proposed Designations)

Land Uses Designations	Acres*	ADT Per Unit or 1,000 sf	Units or sf	Traffic Impact
Office Professional	9.4± ac	25/1,000 sf	276,006± sf	6,915± ADT
Child Day Care	1.7± ac	79.26/1,000 sf	37,026± sf	2,935± ADT
General Commercial	5.1± ac	500/1,000 sf	111,296± sf	55,648± ADT
Mini-Storage/R.V. Storage	6.6± ac	2.61/1,000 sf	143,748± sf	375± ADT
Low Density Residential	14.2± ac	9.55/unit	55 units	525± ADT
Total Estimate Traffic Impact				66,398± ADT

The above comparative traffic impact tables show that the proposed modifications to the land use designations on the property will present only 40±% of the traffic that could be expected given the current land use designations assigned to the property.

Lot Coverage Comparison

A second comparative factor between the proposed and existing land use designations entails a review of allowable building coverage for each use. In this comparison, the maximum lot building coverage area is assumed.

Existing Designations: The maximum lot building coverage area for the existing Master Plan designations on the subject property is provided in Table 5.

Table 5: Building Coverage Estimate (Existing Designations)

Land Use Designation	Acres	Lot Building Coverage (Max)	Building Coverage Estimate
Estate Density Residential	26.6± ac	35%*	304,157± sf or 6.98± ac
General Commercial	15.1± ac	50%**	328,878± sf or 7.55± ac
Total Building Coverage			633,035± sf or 14.53± ac

Note: * - Assume 25% of gross acreage used for right-of-way area.
** - Per City of Sparks Zoning & Land Use controls

Proposed Designations - The uses proposed through this Area Plan could allow for a total building coverage as reflected in the following table:

Table 6: Building Coverage Estimate (Proposed Designation)

Land Use Designation	Acres	Lot Building Coverage (Max)	Building Coverage Estimate
Office Professional	9.4± ac	50%*	204,732± sf or 4.7± ac
Child Day Care	1.7± ac	50%*	37,026± sf or 0.85± ac
General Commercial	5.1± ac	50%*	111,078± sf or 2.55± ac
Mini-Storage/R.V. Storage	6.6± ac	50%*	143,748± sf or 3.3± ac
Low Density Residential	14.2± ac	40%*,**	185,566± sf or 4.26± ac
Total Building Coverage			682,150± sf or 15.66± ac

Note: * - Per Area Plan Land Use Controls
 ** - Assume 25% of gross acreage used for right-of-way area.

Development Intensity Analysis

The previous tables show the comparison of the existing and proposed land use designations relative to the potential traffic impacts and building coverage. The estimated traffic impact calculations show, that the proposed land use designations within this Area Plan provide a much less intense development - with less than ±40% of the traffic generation (66,398± ADT rather than 165,193± ADT) that could be seen with the existing land use designations. The potential building coverage estimates for the existing and proposed land use designations indicate that the proposed development scenario will be slightly more impactful. The potential increased in building coverage is approximately ±8% (682,150± s.f. rather than 633,035± s.f.).

However, the Area Plan identifies 11.1± acres of the total Plan Area as Office Professional and Child Day Care. These designations require that 25% of each project site (rather than 15% in the General Commercial designation) be provided in landscaped area. This increased requirement for landscape area requirement will force the building envelopes within the identified designation to be smaller than would be the case in any other designation.

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The traffic impacts from the site hold significant weight in the analysis review of the proposed Area Plan. This is due to the fact that the traffic impacts can be reduced by approximately 60% of the existing potential. The proposed Area Plan will present increased building coverage areas, but this factor of the analysis is relatively minor when compared to the traffic and is additionally offset by landscaping standards in the Area Plan.

Land Use

The land use goals in the Plan Area are to:

- Provide commercial and support services to the surrounding area.
- Reduce the potential impacts of the existing General Commercial designated area.

Organization of Land Uses

This Plan Area will accommodate a variety of uses. The most intensive uses are located along the western and southern areas of the property. The adjacent uses along these two boundaries are comprised of Vista Boulevard to the west and the Vista Boulevard/Disc Drive soccer field/detention basin to the south. Existing residential uses are separated from the proposed General Commercial and Office Professional uses under the Area Plan by the Low Density Residential designation.

The Low Density Residential area designated within the Area Plan will provide a transition to the existing Estate Density Residential uses to the east. Residential development on this Low Density Residential property will be at three to seven dwelling units per acre.

All existing residential uses east of the Area Plan are proposed to be buffered from Vista Boulevard and the proposed General Commercial and Office Professional designated uses by the Low Density Residential designation.

CIRCULATION SYSTEM

The Area Plan circulation system includes vehicular and pedestrian access systems. The overall circulation system goal is to provide a connection between the General Commercial/Office Professionals and the proposed residential use areas. Unnecessary through traffic that may impact the proposed residential uses will be minimized through the design of the internal roadway system.

Specific Objectives for the Circulation System Are:

- Design for the ultimate Vista Boulevard right-of-way.
- Create an appropriate landscape buffer at the Vista Boulevard edge to the pedestrian corridor/landscape buffer.
- Separate, to the extent possible, the through traffic of a General Commercial/Office Professional nature from the residential neighborhood traffic.
- Screen or de-emphasize parking areas from public view by:
 1. Site Planning
 2. Berming
 3. Landscape Planting
 4. Decorative Masonry Walls (where necessary)

The Area Plan has three access points to the 1,300 feet of continuous Vista Boulevard frontage. This road system, with two access points onto Vista Boulevard, is intended to:

- Provide primary and secondary access to residential and commercial properties
- Disperse traffic.
- Serve commercial parcels with side street access.

This Area Plan will determine the future intersection connections on Vista Boulevard. Specifically, it will be necessary for future development to the west to coordinate access connections relative to this plan.

Since the Vista Boulevard is projected to increase in volumes from its current traffic and two lanes to approximately 30,000 trips per day and six lanes, the design of this corridor must reflect the ability of the street section to accommodate increased service levels, additional width, and adequate landscaping.

The internal streets serving the Area Plan will be designed and constructed to City of Sparks Standards and will have a right-of-way width of fifty-five (55) feet with forty-three (43) feet width

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curb to curb for vehicular traffic and parking. Standard four (4) foot concrete sidewalks will be provided on both sides of all streets. Bonding for proposed right-of-way or other necessary improvements will be made by the developer to the satisfaction of the City of Sparks, Public Works Director.

The specific standards for the design and construction of Vista Boulevard Right-of-way improvements will be to the satisfaction of the Public Works Director and the Regional Transportation Commission. The phasing of the improvements will be as required by the Public Works Director and will be in accordance with the RTC's specific timetable for reconstruction/widening of this corridor.

A third access to Vista Boulevard is proposed and generally located halfway between the two primary accesses into the development. This proposed access is intended to provide the future Office Professional use with an alternate access point given that the site is linear in shape.

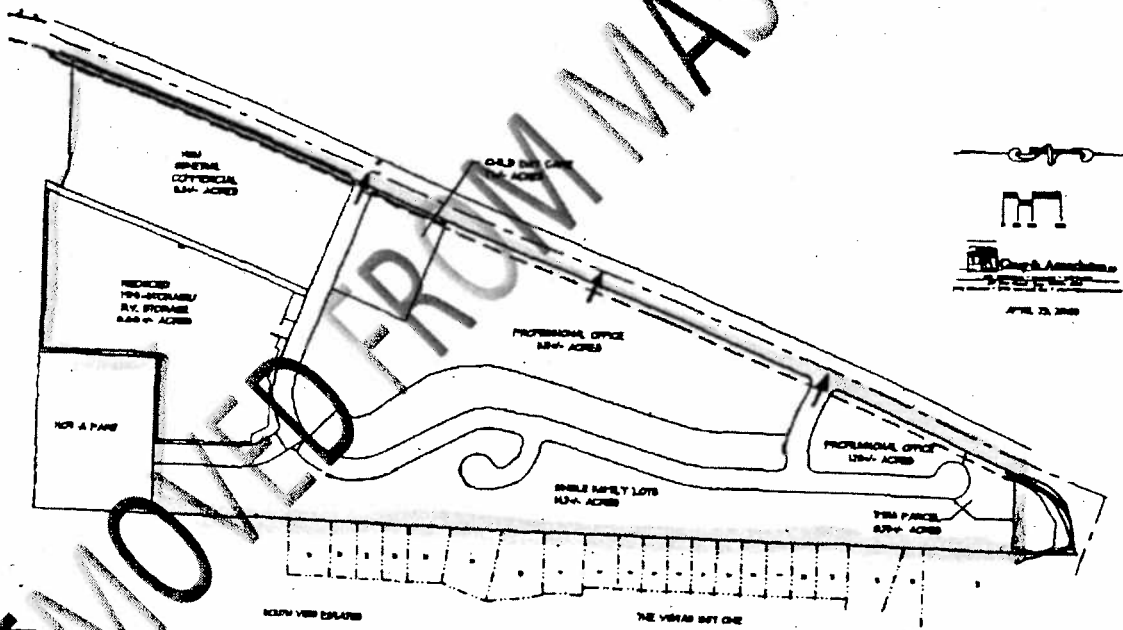


Figure 2 Access Map

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PEDESTRIAN CIRCULATION SYSTEM

The goals of the pedestrian system are to:

1. Connect the east side of Vista Boulevard to Los Altos Parkway to the north and the park/detention facility to the south.
2. Connect the residential portion of the development within the Area Plan to the existing Vistas infrastructure for connection to schools, parks, and the Los Altos Parkway.
3. To provide safe, aesthetically pleasing pedestrian access to appropriate Vista Boulevard pedestrian crossings.
4. To allow for a protected bus pull-out, if necessary, so that public transportation can function in proximity to the site.
5. To provide a safe, inviting, access for pedestrians to walk to businesses along the Vista corridor.
6. To allow for safe internal pedestrian access.

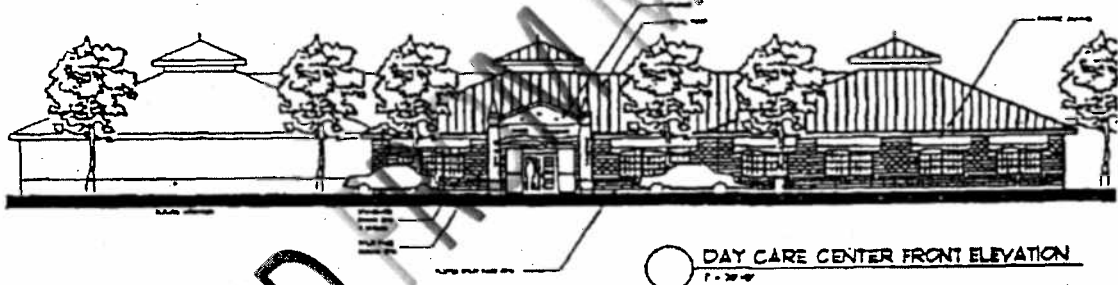
DESIGN STANDARDS

The following design standards shall be met, and shall apply to all development projects within the Area Plan:

Architectural Design

- Standard 1: A variety of decorative/functional materials shall be used in all development within this Area Plan
- Standard 2: The use of materials, color, finishes shall be coordinated between developments.
- Standard 3: Textured materials and architectural details shall be used to articulate the surface of walls.
- Standard 4: Roof flashing, rain gutters, down spouts, and vents shall use materials and colors that complement the overall architecture.
- Standard 5: All non-residential uses along Vista Boulevard shall incorporate compatible architectural styling and/or elements that help create a cohesive project.
- Standard 6: Buildings will not exceed 35' in height. Building height will be measured from the finish grade of the building to the highest point of the building.
- Standard 7: The second floor of any non residential structure shall not contain more than one-half of the floor area that is contained in the first floor, main floor level.
- Standard 8: Buildings will be articulated to indicate the primary entries.
- Standard 9: Roof masses shall be compatible with the design and scale of structures.
- Standard 10: Flat roof styles are prohibited throughout the development. Allowed roof materials include:
- 1) concrete tile,
 - 2) clay tile,

- 3) clay tile facsimile (allowed for mini-storage land use designation),
- 4) non-reflective metal (allowed for commercial and professional office land use designations as a secondary accent roof material, less than or equal to 25 percent of the total roof area of each building,
- 5) Composition Roofing – (highest grade quality), 40-year life minimum (allowed in commercial and professional office land use designations).



DBB FOR ARCHITECT
ARCHITECT

Figure 4. Example Elevation - Day Care Center

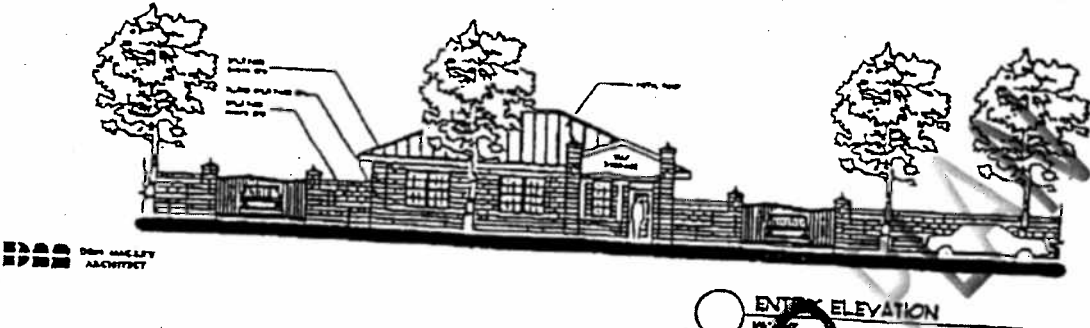


Figure 5. Example Elevation - Mini-Storage Entry

Building Placement and Treatment

- Standard 11: Commercial buildings shall be located toward the front of the project site such that the amount of visible parking area is diminished.
- Standard 12: Architectural treatments on all commercial and office professional use properties shall be substantial and cohesive on all four sides.
- Standard 13: The future residential lots shall be required to match, or be offset, from the existing residential lots to the east, in order to frame the views. The number of the future residential lots shall not be greater than the number of the existing lots, abutting to the east.

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Visual Screening of Utilitarian Elements

- Standard 14: Service areas shall be located such that visual impacts from Vista Blvd. And from the various uses within the development are minimized.
- Standard 15: All refuse collection areas shall be located in rear and/or interior side yards of non commercial uses within the Area Plan.
- Standard 16: All refuse collection areas in non-residential designated areas shall be architecturally compatible with the project's perimeter fencing treatment. Such collection areas shall be constructed with decorative masonry units, and shall be subject to the approval of the Community Development Director and Disposal Services.
- Standard 17: Roof-mounted equipment shall be screened from view from Vista Blvd., from the interior streets, and from surrounding properties. Plans for screening roof-mounted equipment shall be subject to the approval of the Community Development Director.

Landscape Design

- Standard 18: Landscaping shall be installed in the rear yards of the residential lots that abut the existing residential lots to the east. Three trees shall be planted in these rear yard areas. Trees shall be provided at a minimum of two inch caliper or six feet in height. One tree (minimum) shall be provided as an evergreen.
- Standard 19: Landscaping shall be installed at the ends of each of the mini-warehouse buildings and R.V. storage canopies as approved by the Community Development Director.
- Standard 20: Vista Boulevard shall have a landscape buffer and pedestrian walkway that will be located between the edge of pavement and the property envelopes. Landscape buffer minimum widths will be dictated by the minimum front yard setbacks as set forth for each land use designation in the "Land Use Controls" section of this document.

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- Standard 21: Landscape treatments between the project site property line and the back face of curb along Vista Boulevard shall be installed by the developer. Landscape treatments in this area shall include shrubs and ground cover or turf acceptable to the Community Development Director.
- Standard 22: Intensified landscape treatments shall be provided where parking lot areas abut Vista Boulevard.
- Standard 23: Landscaping proposed along Vista Blvd. shall be designed to accommodate the future widening of the roadway to 6 lanes, as approved by the Community Development Director.
- Standard 24: During the first phase of development, the interior street frontage for the future commercial site shall be landscaped approved by the Community Development Director.
- Standard 25: Landscaping and irrigation plans shall be submitted prior to the issuance of a building permit for any building on the site, and shall be consistent with the landscaping standards of the Iratcabal East Area Plan. Landscaping standards not addressed in the Area Plan shall conform to standards in Chapter 20.32 (Landscaping Ordinance) of the Sparks Municipal Code.

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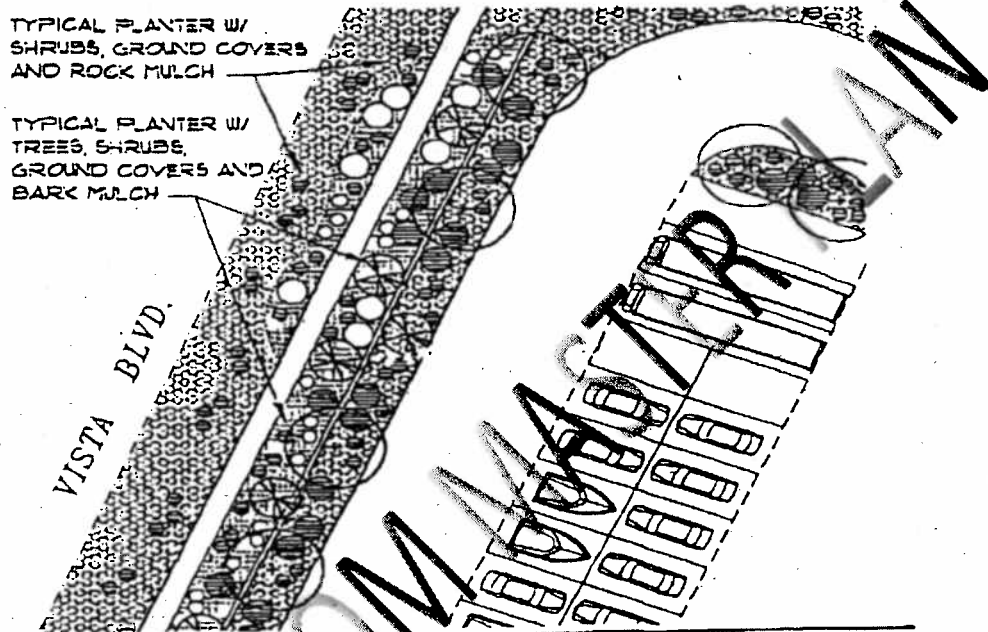


Figure 6. Vista Boulevard Treatment (Standard 18)

Project Entries

Standard 26: The three main access points on Vista Boulevard shall have entry statements. Project entry and/or joint use business signage is allowed at these points.

Standard 27: Entry signage shall be architecturally compatible with the main structures of the adjacent uses.

Standard 28: All signs shall comply with Sparks Municipal Code.

Lighting

Standard 29: Lighting within the development shall be decorative and shielded so that bulbs do not shine directly off-site. A lighting plan shall be submitted for each non-residential project in the plan area to the approval of the Community Development Director.

Exterior Walls

Standard 30: Decorative block walls, no more than 8' in height treated with anti-graffiti coating, shall be installed around the exterior of the mini-storage/R.V. facility. Landscaping along the exterior of the block walls shall include trees, shrubs and vines to ultimately screen the walls.

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LAND USE CONTROLS

Low Density Residential Designation

Allowed Uses

The Residential designated area within the Iratcabal East Area Plan will be subject to the following land uses. Any specific aspects of the development framework that are not covered in the following shall be subject to the City of Sparks Zoning and Land Use Controls.

- Uses permitted without a Special Use Permit
 - single family dwellings of a permanent nature
 - accessory buildings
 - in-home child care for the number of children one care giver may care for in accordance with the rules and regulations for child care.
 - home occupations
- Uses Requiring a Special Use Permit
 - child care requiring two care givers
 - temporary subdivision sales offices
 - model homes
 - construction yards

Lot Size, Setback Requirements and Height Limits

Lot and setback requirements and height limits shall be as follows for all residentially designated properties:

- A. Minimum Site Area: Per Sparks Municipal Code (SMC) 20.60
- B. Setback Requirements
 - 1. Front and exterior side yards: Per SMC 20.60
 - 2. Side yard: Per SMC 20.60
 - 3. Rear yard: Per SMC 20.60
- C. Maximum Building Height: Per SMC 20.60
- D. Minimum lot width: Per SMC 20.60
- E. Maximum Lot Building Coverage: Per SMC 20.60
- F. Minimum Lot Frontage: Per SMC 20.60
- G. Minimum Landscape Requirements: Front yards shall be landscaped by the developer. Rear yard trees consistent with Standard 16 of the Development

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Standards shall be provided by the developer. All landscape areas shall have water efficient irrigation systems.

- H. Minimum Parking Requirements: per chapter 20.49 of the City of Sparks Zoning and Land Use Controls.
- I. Building Placement: Lots shall match or be offset from abutting existing residential lots to the east in order to frame the view.

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Office Professional Designation

Allowed Uses

The Office Professional designated areas within the Iratcabal East Area Plan will be subject to the following land uses. Any specific aspects of the development framework that are not covered in the following shall be subject to the City of Sparks Zoning and Land Use Controls.

- Uses Permitted Without a Special Use Permit
 - professional/medical offices and medical clinics
 - accessory buildings
 - banks and other similar financial institutions (without drive-through facilities)
- Uses Requiring a Special Use Permit
 - banks and other similar financial institutions (with drive-through facilities) -
 - private recreation clubs and facilities
 - churches
 - convalescent/assisted care facilities
 - - preschools

For all new construction or building expansions, a Site Plan Review is required prior to the issuance of a building permit (whenever a Special Use Permit is not required)

Lot Size, Setback Requirements and Height Limits

Lot and setback requirements and height limits shall be as follows for all Office Professional designated properties within the Iratcabal East Plan Area:

- | | |
|--|---------------|
| A. Minimum Site Area: | Per SMC 20.80 |
| B. Setback Requirements | |
| 1. Front and exterior side yards: | Per SMC 20.80 |
| 2. Side yard: | Per SMC 20.80 |
| 3. Rear yard: | Per SMC 20.80 |
| 4. Side or rear yards adjacent to R-1 districts shall be required to have one additional foot of setback (entirely landscaped) for each additional foot of building height or portion thereof in excess of the allowed commercial building height. | |
| C. Maximum Building Height: | Per SMC 20.80 |
| D. Minimum lot width: | Per SMC 20.80 |

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- F. Minimum Lot Frontage: Per SMC 20.80
- G. Minimum Landscape Requirements: twenty five percent of the project site area with consideration of all applicable sections and subsections of chapter 20.32 of the City of Sparks Zoning and Land Use Controls.
- H. Minimum Parking Requirements: per chapter 20.49 of the City of Sparks Zoning and Land Use Controls.

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Child Day Care Designation

Allowed Uses

The Child Day Care designated area within the Iratcabal East Area Plan will be subject to the following land uses. Any specific aspects of the development framework that are not covered in the following shall be subject to the City of Sparks Zoning and Land Use Controls.

- Uses Requiring a Special Use Permit
 - Child Day Care Facility

Lot Size, Setback Requirements and Height Limits

Lot and setback requirements and height limits shall be as follows for the Child Day Care designated property within the Iratcabal East Plan Area:

- A. Minimum Site Area: Per SMC 20.80
- B. Setback Requirements
 - 1. Front and exterior side yards: Per SMC 20.80
 - 2. Side yard: Per SMC 20.80
 - 3. Rear yard: Per SMC 20.80
 - 4. Side or rear yards adjacent to R-1 districts shall be required to have one additional foot of setback (entirely landscaped) for each additional foot of building height or portion thereof in excess of the allowed commercial building height.
- C. Maximum Building Height: Per SMC 20.80
- D. Minimum lot width: Per SMC 20.80
- E. Maximum Lot Building Coverage: Per SMC 20.80
- F. Minimum Lot Frontage: Per SMC 20.80
- G. Minimum Landscape Requirements: twenty five percent of the project site area with consideration of all applicable sections and subsections of chapter 20.32 of the City of Sparks Zoning and Land Use Controls.
- H. Minimum Parking Requirements: per chapter 20.49 of the City of Sparks Zoning and Land Use Controls.

Commercial Designation

Allowed Uses

The Commercial designated areas within the Iratcabal East Area Plan will be subject to the following land use controls. Any specific aspects of the development framework that are not covered in the following shall be dictated by the City of Sparks Zoning and Land Use Controls.

- Uses Permitted without a Special Use Permit after the Buildings have been constructed
 - comparison goods shopping facilities
 - office/clinics
 - retail stores
 - personal service shops
 - restaurants without drive-through
 - health clubs
- Uses Requiring a Special Use Permit are as Follow:
 - outdoor sales and service operations
 - mini warehouses
 - recreation vehicle storage
 - public utility structures
 - accessory uses
- For all new construction or building expansions, a Site Plan Review is required prior to the issuance of a building permit (whenever a Special Use Permit is not required)

Lot Size, Setback Requirements and Height Limits

Lot and setback requirements and height limits shall be as follows for all Commercial designated properties within the Iratcabal East Plan Area:

- A. Minimum Site Area: Per SMC 20.85
- B. Setback Requirements (to be provided entirely of landscape)
 - 1. Front and exterior side yards: ten feet.
 - 2. Side yard: five feet.
 - 3. Rear yard: five feet.
 - 4. Side or rear yards adjacent to R-1 districts shall be required to have one additional foot of setback (entirely landscaped) for each additional foot of

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building height or portion there of in excess of the allowed commercial building height.

- C. Maximum Building Height: Per SMC 20.85
- D. Minimum lot width: Per SMC 20.85
- E. Maximum Lot Building Coverage: Per SMC 20.85
- F. Minimum Lot Frontage: Per SMC 20.85
- G. Minimum Landscape Requirements: twenty five percent of the project site area with consideration of all applicable sections and subsections of chapter 20.32 of the City of Sparks Zoning and Land Use Controls.
- H. Minimum Parking Requirements: per chapter 20.49 of the City of Sparks Zoning and Land Use Controls.

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Mini-Storage/R.V. Storage Designation

Allowed Uses

The Mini-Storage/R.V. Storage designated area within the Iratcabal East Area Plan will be subject to the following land uses. Any specific aspects of the development framework that are not covered in the following shall be subject to the City of Sparks Zoning and Land Use Controls.

- Uses Requiring a Special Use Permit are as Follow:
 - mini warehouses
 - recreation vehicle storage
 - mini warehouse manager's apartment

Lot Size, Setback Requirements and Height Limits

Lot and setback requirements and height limits shall be as follows for the Mini-Storage/R.V. Storage designated property within the Iratcabal East Plan Area:

- A. Minimum Site Area: Per SMC 20.85
- B. Setback Requirements (to be provided entirely of landscape)
 - 1. Front and exterior side yards: ten feet.
 - 2. Side yard: five feet.
 - 3. Rear yard: five feet.
 - 4. Side or rear yards adjacent to R-1 districts shall be required to have one additional foot of setback (entirely landscaped) for each additional foot of building height or portion thereof in excess of the allowed commercial building height.
- C. Maximum Building Height: Per SMC 20.85
- D. Minimum lot width: Per SMC 20.85
- E. Maximum Lot Building Coverage: Per SMC 20.85
- F. Minimum Lot Frontage: Per SMC 20.85
- G. Minimum Landscape Requirements: twenty five percent of the project site area with consideration of all applicable sections and subsections of chapter 20.32 of the City of Sparks Zoning and Land Use Controls.
- H. Minimum Parking Requirements: per chapter 20.49 of the City of Sparks Zoning and Land Use Controls.

PUBLIC FACILITIES AND SERVICE REQUIREMENTS

Sanitary Sewer

There are two sanitary sewer options relative to the Plan Area. First, at Vista Boulevard, there is an existing sewer line located approximately 200 feet north of the intersection of Vista Boulevard and Disc Drive. Connection to this sewer line may be utilized for the southern Plan Area components. The second opportunity for sewer connection lies in the Spanish Springs Interceptor. This line lies to the west of the Plan Area and is located on the Iratcabal property west of Vista Boulevard. The necessity of connection to the Spanish Springs Interceptor will be determined as a function of capacity in the other option.

The demand for wastewater capacity generated by this development will be based on current City of Sparks Standards (based on the City of Reno Design Manual). A Master Sewer Report will be provided to the satisfaction of the Public Works Director. The criteria will be based upon the City of Reno Public Works Design Manual. If the second alternative is chosen, the study will include all future potential development directly north and west of this development. All necessary easements will be acquired by the developer prior to approval.

The table of equivalent dwelling units (EDU) for each land use and the total gallons of wastewater generated for the total development of the Plan Area is tabulated as follows:

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Table 7. Estimate of Total Wastewater Demand

Land Use Designation	EDU/Unit	Units	EDU	Gallons/Day
Low Density Residential	1.0/dwelling	55	55	17,875
General Commercial	3.0/dwelling	5.1	15.3	4,973
Child Day Care	6.0/dwelling	1.7	10.2	3,315
Mini-Storage/R.V. Storage	3.0/dwelling	6.6	19.8	6,435
Office Professional	6.0/acre	9.4	56.4	18,330
Total:				50,928

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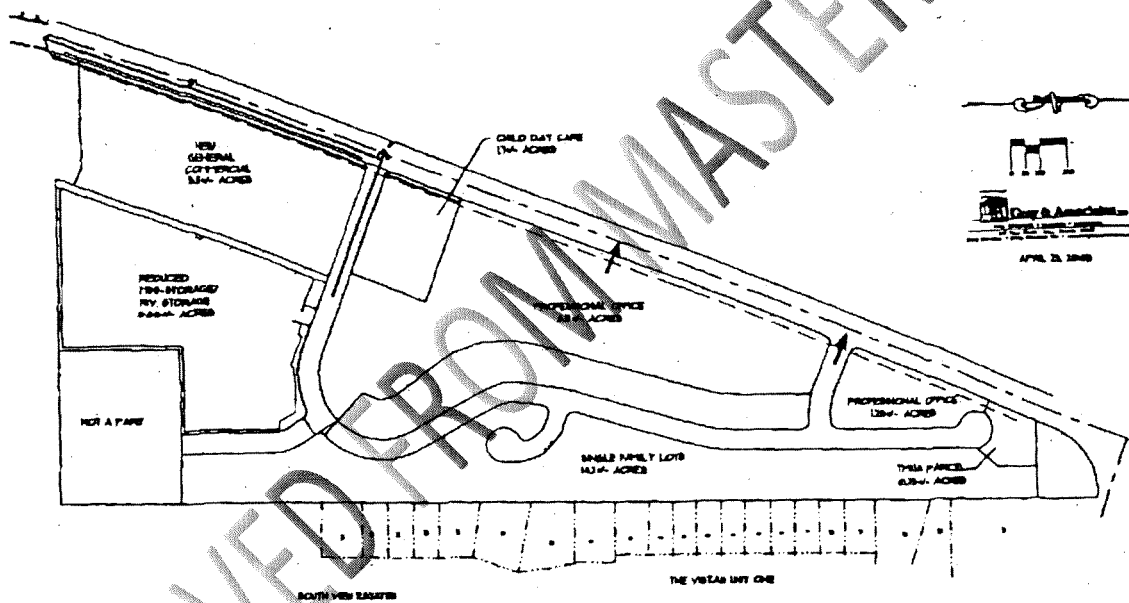


Figure 7. Sanitary Sewer Options

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Storm Drainage

Existing Conditions

Currently, the entire area is undeveloped. Stormwater sheet flows from east to west across the site and collects along Vista Boulevard where it flows either south toward a catch basin at the southwest corner of the property or flows to a pair of 24"± diameter culverts located near the mid point of the property along the Vista Boulevard right-of-way. From there, it flows west (under Vista Boulevard) and enters the vacant property located on the western side of Vista Boulevard.

Plan Improvements

A Master Hydrology Report for the entire site east of Vista Blvd. will be provided. The criteria for the report will be as found in the most recent draft of the Washoe County Drainage Design Manual as developed by WRC. Current plans are to provide on site detention in the RV Park Area. Maximum depths of detention will be to the satisfaction of the Public Works Director. An Evacuation plan will be provided in the report. Currently there are no public drainage systems or easements that exist to convey storm drainage from this site.

Conveying additional drainage north to the existing culverts mentioned above will exacerbate an existing problem. A drainage easement may be required from the Iratcabals, owners of the property on the west side of Vista Blvd., for conveyance through and on to that property. Public storm drain lines necessary in Vista Blvd. will be designed to accommodate future Vista Blvd. Drainage facilities.

Water

The Truckee Meadows Water Authority has installed a 24" water line within the Vista Boulevard right-of-way. Approximately two-thirds of the way up the Vista Boulevard property frontage of the Plan Area is a 14" water line that connects to the 24" main line. This 14" line provides service to The Vista's planned community. It is anticipated that this 14" line will be available for service for the Plan Area developments.

Water demand is based on an estimated average daily consumption of 230 gallons per capita. For a single family dwelling with an average household size of 2.5 persons, the water consumption per household is approximately 575 gallons per day or 0.64 acre-feet annually. The demand for water service for non-residential use is based on an estimated average daily consumption per acre.

Table 8. Estimate of Total Water Demand

Land Use Designation	EDU/Unit	Units	Gal/Unit/Day	Gallons/Day
Low Density Residential	1.0/dwelling	55	575	31,625
General Commercial	4.7/acre	5.1	2,702	13,780
Child Day Care	4.7/acre	1.7	2,702	4,592
Mini-Storage/R.V. Storage	4.7/acre	6.6	2,702	17,833
Office Professional	4.7/acre	9.4	2,702	25,399
Total:				93,229

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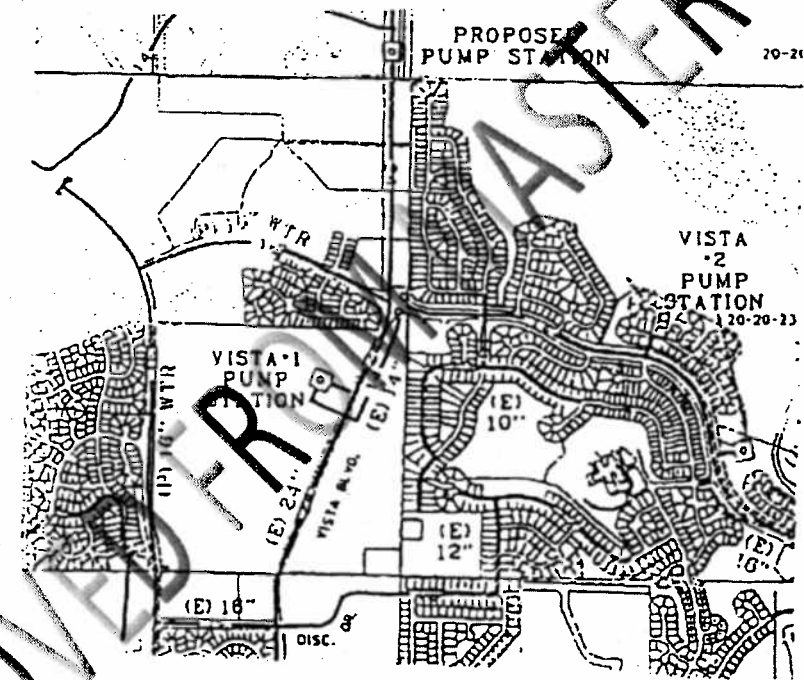


Figure 8. Water Distribution Map

Gas

Sierra Pacific Power Company provides gas service to the region. An existing 10" gas line lies in Vista Boulevard, adjacent to the Plan Area. It is anticipated that this line will be available for service to the Plan Area developments.

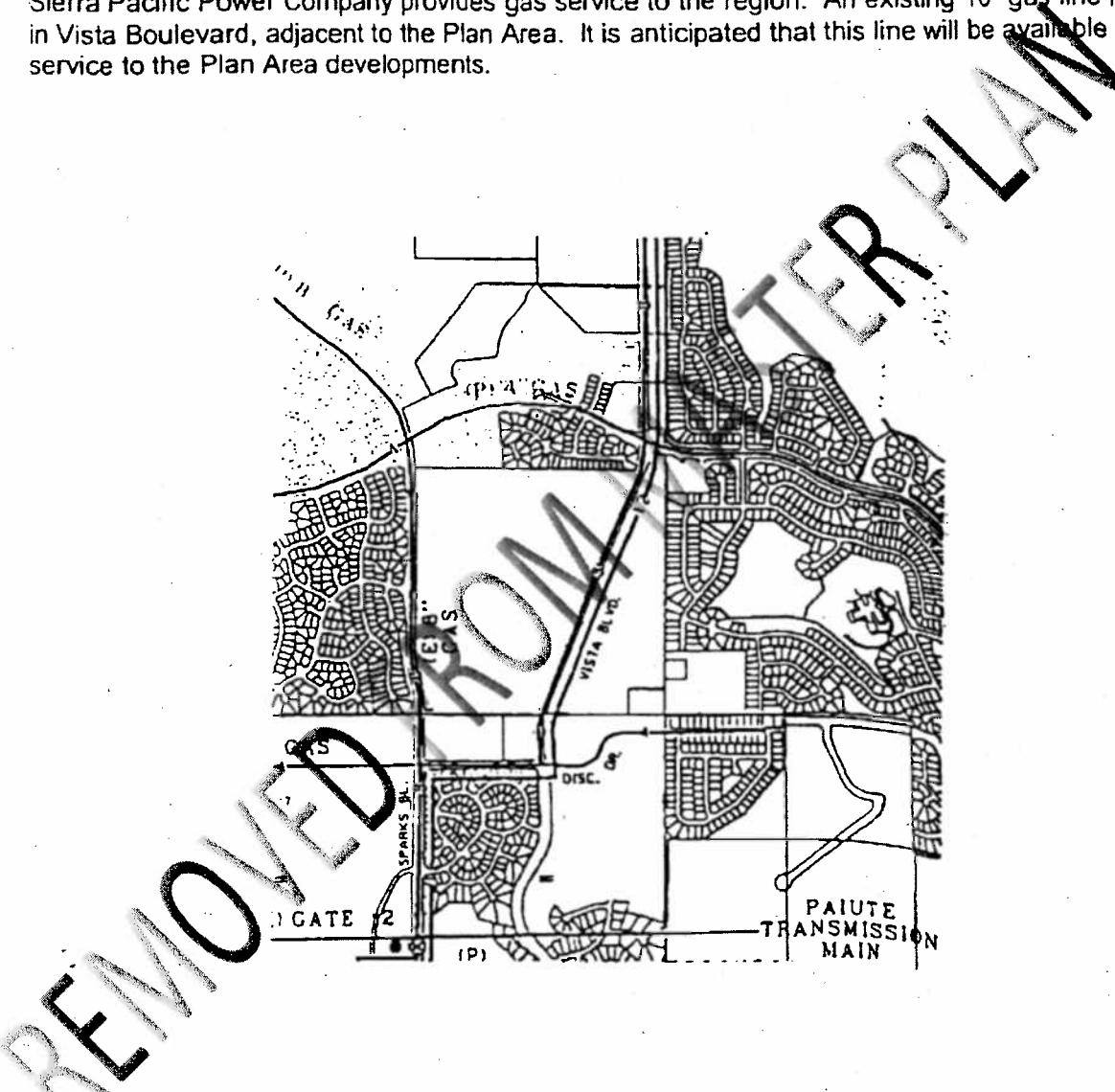


Figure 9. Gas Distribution Map

Electric

Sierra Pacific Power Company provides electric service to the region. Sierra Pacific has a 275 kv facility adjacent to the Plan Area in the form of an overhead power line. Overhead lines shall be placed underground before or concurrent to adjacent construction. It is anticipated that service to all projects within the Plan Area will come from this source.

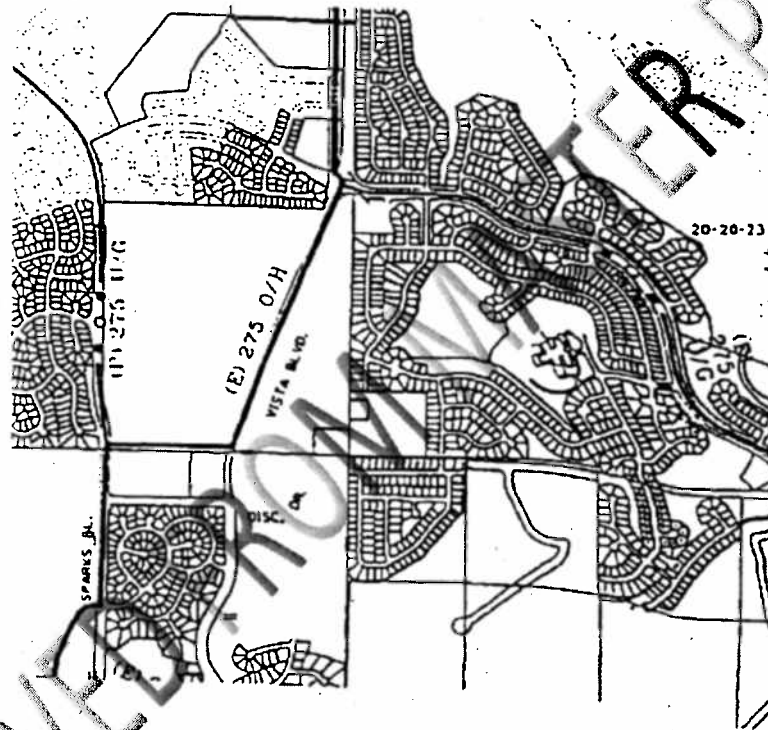


Figure 10. Electric Distribution Map

Streets

All developments within the Plan Area will provide adequate right-of-way along Vista Boulevard for the ultimate widening to 6-lanes. The provision of the additional right-of-way equates to a 20' allowance for the future improvements. Reconstruction of Vista Boulevard is currently scheduled on the RTC Capital Improvements Program for 1999-2000. It is understood that the widening of Vista Boulevard to 4-lanes will occur at the time of reconstruction.

Per the direction of the City of Sparks, Public Works Director, there will be a loop road that will service the Plan Area with a southerly and northerly connection to Vista Boulevard. A third access point has been discussed with connection to Vista between the loop road connections. This third access will provide service to the future primary Office Professional development. A master access plan which incorporates the proposed access for this site as well as others anticipated in this corridor will be provided for review and approval by the Public Works Director and the RTC Traffic Engineer.

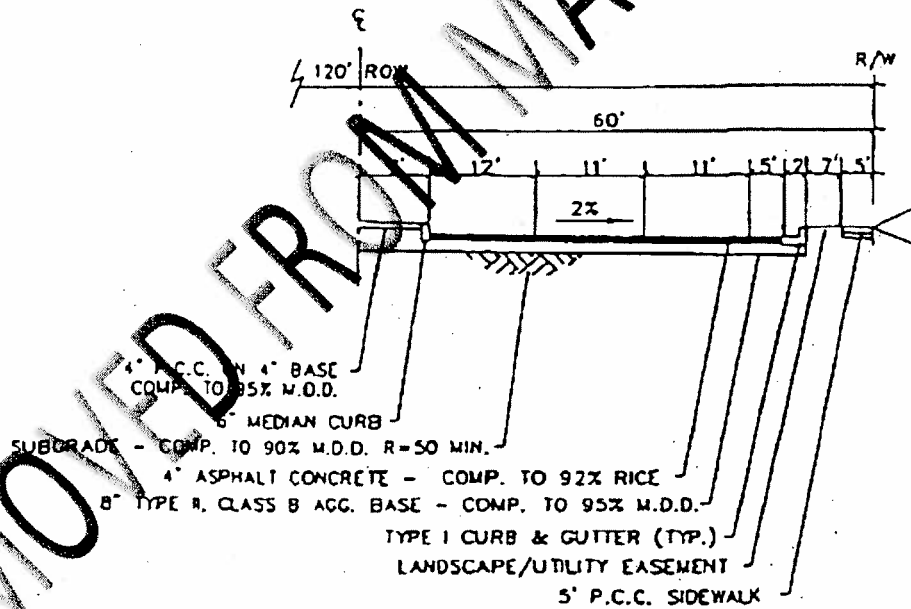


Figure 11. Proposed Vista Boulevard Cross Section

Landscape Edges Along Vista Boulevard

Each developer will be responsible for the installation of landscape improvements in accordance with the Area Plan proposed treatments. Treatments along this arterial include an attractive and cohesive landscape program, a detached sidewalk and attractive sound/buffering wall treatments (where necessary). It is the intention in the design of the Vista Boulevard landscape treatment to emulate the Los Altos Parkway treatment.

The sidewalk will ultimately provide a safe connection between Los Altos Parkway and commercial and park development to the south of the Plan Area.

Fire Protection

City of Sparks Fire Station No. 4 adjoins the Plan Area property to the south of the Plan Area on Disc Drive. No augmentation to fire services is anticipated with any of the proposed developments in the Plan Area.

Schools

Due to the limited residential use proposed within this Area Plan, impact upon public educational services is expected to be limited.

Future School Impact Calculations

Assume: 9.4% of general population is elementary school age
3.1% of general population is middle school age
5.5% of general population is high school age
2.2 - 3.3 persons per household

Given 51 single family units in the Plan Area, the anticipated impact on public schools will be:

Elementary Schools:	11 - 17 students
Middle Schools:	4 - 6 students
High Schools:	7 - 10 students

At this time, public school service would be provided at Bud Beasley Elementary, Mendive Middle School and Reed High School.

Parks

There are no parks areas proposed as part of the Area Plan. A park facility is located at the southwestern boundary of the Plan Area. This park operates primarily as a soccer field/storm drainage detention area. To the north of the Plan Area lies the Los Altos Parkway greenbelt. Improvements along Vista Boulevard that are associated with this Area Plan will provide a connection between the soccer field and Los Altos Parkway.

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IMPLEMENTATION

The Iratcabal East Area Plan is an infill program for a site that has become gradually surrounded by development. The implementation of the plan must clearly define allowable uses, levels of intensity and be able to respond to changing market conditions.

The object of the implementation program includes:

- Provide a simple, effective project review process that mirrors the design concepts and that follows the procedures outlined in Sparks Municipal Code Title 20, Zoning and Land Use Controls as well as Title 17 of the same code.
- To insure that the utility considerations pertaining to the property are adequately addressed.
- Provide for a proportionate share of implementation costs.
- To establish a sensible transition between the existing neighborhood to the east and the busy arterial that forms the boundary of this property on the west.
- To develop uses that respond to the commercial needs of the surrounding property owners.

Components of the implementation plan are:

- All essential capital improvements will be identified. The most far-reaching is the Vista Boulevard right-of-way. This plan proposes the creation of a safe, aesthetically pleasing corridor.
- Individual projects within the Plan Area will be controlled by the Design Standards presented in this plan and by the existing zoning and land use controls of the City of Sparks.
- Special use permits will be necessary for many of the projects that will be proposed within the Plan Area.
- Public improvements associated with Plan Area projects include: appropriate, efficient connections to the existing utility systems in the area; undergrounding of overhead lines; widening Vista Boulevard (a project currently scheduled by RTC for construction in 1999-2000); and interior roadway improvements.
- The necessary public improvements for the Plan Area shall be the responsibility of the developer through a succession of project.
- Plan Area on and off-site drainage issues will be addressed in an overall hydrology report and incrementally implemented. This procedure will mirror the City of Sparks, Public Works standards that are in place at the time of review of each project.

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